

# PERMIT

**CITY OF NAPOLEON - BUILDING DEPARTMENT**  
 255 West Riverview Avenue, Napoleon, Ohio 43545 - 419-592-4010

Permit No. 01549 Issued 5-23-88  
date

Job Location 511 Haley  
address

Lot 17 Sheffields First Add.  
sub-div or legal discript

Issued By Eldon Huber  
building official

Owner Jamie Kuser  
name tel.

Address 511 Haley

Agent Rohrs Masonry, Inc.  
builder-eng.-etc. tel.

Address 16-353 Rd. V - Nap., OH

Description of Use Residence

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Residential 1  
no. dwelling units

Commercial \_\_\_\_\_ Industrial \_\_\_\_\_

New \_\_\_\_\_ Add'n. X Alter \_\_\_\_\_ Remodel \_\_\_\_\_

Mixed Occupancy \_\_\_\_\_

Change of Occupancy \_\_\_\_\_

Estimated Cost \$ 6,000.00

FEES	BASE	PLUS	TOTAL
<input checked="" type="checkbox"/> BUILDING	9.00	40.00	49.00
<input type="checkbox"/> ELECTRICAL			
<input type="checkbox"/> PLUMBING			
<input type="checkbox"/> MECHANICAL			
<input type="checkbox"/> DEMOLITION			
<input type="checkbox"/> ZONING			
<input type="checkbox"/> SIGN			
WATER TAP			
SEWER TAP			
TEMP. ELECT.			
ADDITIONAL PLAN REVIEW	Struct. _____ hrs	Elect. _____ hrs	
TOTAL FEES.....			49.00
LESS MIN. FEES PAID _____			
	<small>date</small>		
BALANCE DUE.....			

### ZONING INFORMATION

district	lot dimensions	area	front yd	side yds	rear yd
B					
max hgt	no pkg spaces	no ldg spaces	max cover	petition or appeal req'd	date appr

### WORK INFORMATION:

Size: Length 24' Width 24' Stories 1 Ground Floor Area 576 S.F.

Height 13'± Building Volume (for demo. permit) \_\_\_\_\_ cu. ft.

Electrical: N.A. Apply for seperately  
brief description

Plumbing: N.A.  
brief description

Mechanical: N.A.  
brief description

Sign: N.A. Dimensions \_\_\_\_\_ Sign Area \_\_\_\_\_  
type

Additional Information: Garage addition to the existing residence.

Date 6-9-88 Applicant Signature Thomas a Rohrs JUN 09 1988  
owner-agent CITY OF NAPOLEON

# INSPECTION RECORD

UNDERGROUND			ROUGH-IN						FINAL			
Type	Date	By	Type	Date	By	Type	Date	By	Type	Date	By	
<b>PLUMBING</b>	Building Drains		Drainage, Waste & Vent Piping			Indirect Waste			Drainage, Waste & Vent Piping			
	Water Piping								Backflow Prevention			
	Building Sewer		Water Piping			Condensate Lines			Water Heater			
	Sewer Connection								FINAL APPROVAL			
<b>MECHANICAL</b>	Refrigerant Piping		Refrigerant Piping			Chimney(s)			Grease Exhaust System			
			Duct Furnace(s)			Fire Dampers			Air Cond. Unit(s)			
	Ducts/Plenums		Ducts/Plenums			<input type="checkbox"/> Radiant Htr(s) <input type="checkbox"/> Unit Htr(s)			Refrigeration Equipment			
			Duct Insulation			Pool Heater			Furnace(s)			
			Combustion Products Vents			Ventilation <input type="checkbox"/> Supply <input type="checkbox"/> Exhst.			FINAL APPROVAL			
<b>ELECTRICAL</b>	Conduits & or Cable		Conduits/Cable			<input type="checkbox"/> Range <input type="checkbox"/> Dryer			Temp Service Temp Lighting			
	Grounding & or Bonding		Rough Wiring			<input type="checkbox"/> Generator(s) <input type="checkbox"/> Motors			Fixtures Lampholders			
	Floor Ducts Raceways		Service Panel Switchboard			<input type="checkbox"/> Water Htr <input type="checkbox"/> Welder			Signs			
	Service Conduit		Busways Ducts			<input type="checkbox"/> Heaters <input type="checkbox"/> Heat Cable			Electric Mtr. Clearance			
	Temporary Power Pole		Subpanels			<input type="checkbox"/> Duct Htr(s) <input type="checkbox"/> Furnace(s)			FINAL APPROVAL			
<b>BUILDING</b>	Location, Set-backs, Esmt(s)		SH Exterior Wall Construction			Roof Covering Roof Drainage			Smoke Detector			
	Excavation		SH			Exterior Lath			Demolition (sewer cap)			
	Footings & Reinforcing	8/20	EH			<input type="checkbox"/> Interior Lath <input type="checkbox"/> Wallboard						
	Floor Slab					Fire Wall(s)			Building or Structure			
	Foundation Walls					Fireplace Chimney						
	Sub-soil Drain					Attic <input type="checkbox"/> Vent <input type="checkbox"/> Access						
	Piles					Floor System(s)			FINAL APPROVAL BLDG. DEPT.	8/88	EH	
						Roof System			Certificate of Occupancy Issued			
<b>ADDITIONAL</b>	<b>INSPECTIONS, CORRECTIONS, ETC.</b>					<b>INSPECTIONS, CORRECTIONS, ETC.</b>						
	REPLACR DOOR BTWN HOOSR + GARAGE WITH SOLID CORR DOOR					8/88	EH					
	APPROVD WITH THE SPECIFICATION THAT THE EXISTING DOOR BE REPLACD WITH A SOLID DOOR PER CODE					8/88	EH					
	THIS REQ. GIVEN VERBALLY TO JAMIR KOSER											



RESIDENTIAL PLAN CORRECTION SHEET

CITY OF NAPOLEON  
255 West Riverview Ave.  
Napoleon, Ohio 43545  
419/592-4010

ADDENDUM TO Permit No. 01549 - (1)  
Owner HAILE KUSEIR  
Contractor BAHRS MAJORBY  
Location 511 HAILEY

Please note the items checked below and incorporate them into your plans as indicated:  PERMIT NOT YET ISSUED, CORRECT PLANS AND RE-SUBMIT.  PERMIT ISSUED, INCORPORATE ITEMS DURING CONSTRUCTION.

GENERAL			
<input checked="" type="checkbox"/>	Provide approved smoke detector(s) as req'd.		Show size of members supporting porch roof.
<input checked="" type="checkbox"/>	Provide 1/2" gypsum wallboard between dwelling and garage, on garage side.	<input checked="" type="checkbox"/>	Provide double top plate for all bearing partitions and exterior walls.
<input checked="" type="checkbox"/>	Provide min. 1 3/8" solid wood door from garage to dwelling. (or equal)		Provide design data for prefab wood truss.
	Submit fully dimensioned plot plan.		Ceiling joists undersized in _____.
	Provide min. of 1-3'0" x 6'8" exit door.		Roof rafters undersized in _____.
<input checked="" type="checkbox"/>	Provide min. 22" x 30" attic access opening.	PLUMBING AND MECHANICAL	
	Provide min. 18" x 24" crawl space access opening.		Terminate all exhaust systems to outside air.
	Provide approved sheathing or flashing behind masonry veneer.		Insulate ducts in unheated areas.
	Provide min. 15# underlayment on roof.		Provide backflow prevention device on all hose bibs.
	Provide adequate fireplace hearth.		Terminate pressure and temperature relief valve drain in an approved manner.
	Install factory built fireplaces/stoves according to manufacturers instructions.		Provide dishwasher drain with approved air gap device.
	Terminate chimney 2' above roof or 2' above highest point of building within 10' of chimney.	METAL VENEERS	
LIGHT AND VENTILATION			Contact City Utilities Dept. to remove conductors and/or meter.
	Provide mechanical exhaust or window in bathroom _____.		Provide approved system of grounding and bonding.
<input checked="" type="checkbox"/>	Provide min. <u>277</u> Sq. In. net free area attic ventilation. <u>1/2 @ RIDGE</u>	ELECTRICAL	
	Provide min. _____ Sq. In. net free area crawl space ventilation.		Show location of service entrance panel and service equipment panel.
FOUNDATION			G. F. C. I. req'd. on temporary electric.
	Min. depth of foundation below finished grade is 32".		Outdoor, bathroom and garage receptacles shall be protected by G. F. C. I.
	Min. size of footer _____" x _____".		Maximum number of receptacles permitted on a G. F. C. I. circuit shall be 10 for 20 A. circuits and 7 for 15A. circuits.
<input checked="" type="checkbox"/>	Provide anchor bolts 1/2" @ 6' o.c. 1' from each corner. <u>Embedded 7"</u> in concrete and 15" in masonry.		Refrigerators, microwaves, washers, disposal, furnace and air conditioners shall be on separate circuits.
	Show size of basement columns.	INSPECTIONS	
FRAMING			The following indicated inspections are required. The owner or his agent shall contact the City Building Dept. at least 24 hrs prior to the time the inspection is to be made.
	Show size of wood girder in _____.	<input checked="" type="checkbox"/>	Footers and Setbacks.
	Provide design data for structural member in _____.		Building sewer.
	Floor joists undersized in _____.	<input checked="" type="checkbox"/>	Foundation.
	Provide double joists under parallel bearing partitions.		HVAC rough-in.
<input checked="" type="checkbox"/>	Provide 1" x 4" let in corner bracing, approved sheathing, or equal.		Plumbing rough-in. <input checked="" type="checkbox"/>
	Show size of headers for openings over 4' wide _____.		Final Building other.
			Plumbing final. <input checked="" type="checkbox"/>
			Electrical service. <input checked="" type="checkbox"/>
			Electrical rough-in.
			Electrical final

Additional Corrections. PROVIDE A TREATED WOOD PLATE AT THE BASE OF THE WOOD STUD WALL

The approval of plans and specifications does not permit the violation of any section of the Building Code or other City Ordinance. This addendum is attached to Permit No. 01549 and made a part thereof. DATE APPROVED OR DISAPPROVED 5-20 88 Checked by ELOON HUSEIR Plan Examiner.

DATE RECHECKED AND APPROVED \_\_\_\_\_ Checked by \_\_\_\_\_



PERMIT

CITY OF NAPOLEON - BUILDING DEPARTMENT  
255 West Riverview Avenue, Napoleon, Ohio 43545 - 419-592-4010

01549

Permit No.                      Issued 5-20-88  
date

Job Location S11 HALEY  
address

Lot 17 SHEFIELOS FIRST ADD  
sub-div or legal descript

Issued By 5  
building official

Owner JAMIE KUSER  
name tel.

Address S11 HALEY

Agent ROHRS MASONRY INC.  
builder-eng -etc. tel.

Address 16-353 RD. 11 NAP OH

Description of Use RESIDENCE

Residential 1  
no. dwelling units

Commercial            Industrial           

New            Add'n. X Alter            Remodel           

Mixed Occupancy           

Change of Occupancy           

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brief description

Plumbing: N/A.  
brief description

Mechanical: N/A.  
brief description

Sign: N/A. Dimensions            Sign Area             
type

Additional Information: GARAGE ADDITION TO THE EXISTING RESIDENCE

Date            Applicant Signature             
owner-agent



CITY OF NAPOLEON  
BUILDING INSPECTION DEPARTMENT  
APPLICATION FOR BUILDING PERMIT  
(Please print or type)

B.I. COPY

The undersigned hereby makes application for construction, installation, or alteration work as herein specified, agreeing to do all such work in strict accordance with the City of Napoleon's adopted Building Codes.

Location of project 511 Haley Cost of project 6,000.<sup>00</sup>  
Owner's Name Jamie Kuser Address 511 Haley  
Contractor Rohrs Masonry Inc. Telephone No. 598-8313  
Address 16-353 Rd U Napoleon

Lot Information: (Not required for siding job)

Lot No. 17 Subdivision Shefield First  
Zoning District B Lot Size 66 ft. X 132 ft. Area 576 sq. ft.  
Setbacks: Front \_\_\_\_\_ Right Side \_\_\_\_\_ Left Side \_\_\_\_\_ Rear \_\_\_\_\_

Work Information:

Residential  Commercial \_\_\_\_\_ Industrial \_\_\_\_\_  
New Construction \_\_\_\_\_ Addition Garage Remodel \_\_\_\_\_  
Accessory Building \_\_\_\_\_ Siding vinal  
(Specific Type)

Brief Description of Work:-----

Size: Length 24 Width 24 No. of Stories 1  
Area: 1st Floor \_\_\_\_\_ sq. ft. Basement \_\_\_\_\_ sq. ft.  
2nd Floor \_\_\_\_\_ sq. ft. Accessory Bldg. \_\_\_\_\_ sq. ft.  
3rd Floor \_\_\_\_\_ sq. ft. Other \_\_\_\_\_ sq. ft.

Additional Information: \_\_\_\_\_

APPLICATION FOR PERMIT SHALL BE ACCOMPANIED BY TWO COMPLETE SETS OF PLANS INCLUDING: ELEVATIONS, FLOOR PLANS, CROSS SECTIONS AND PLOT PLAN. IF ADDITION OR REMODELING, SHOW ALL EXISTING STRUCTURES AND THEIR SIZE AND LOCATION. ALL PLANS SHALL BE DRAWN TO SCALE.

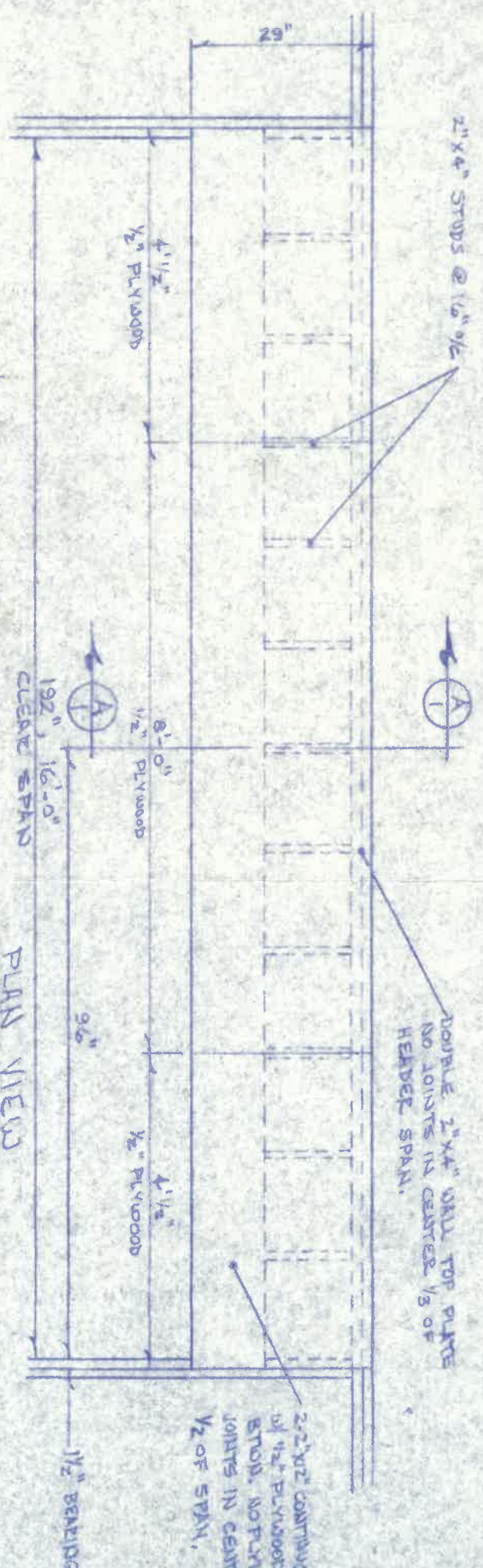
Date 5-13-88 Applicant's Signature Thomas a Rohrs

PERMIT NO.

PERMIT FEE \$







1/2" PLYWOOD FACE,  
GLUE & NAIL w/ 6d  
OR EQUAL @ 6" o/c @  
EDGES & 12" o/c @ STUDS.

SECTION A-1

1 1/2" = 1'-0"

1/2" JOIST & RAFTER BEARING.  
2x2x12" TOP PLATE 2-16d  
FIRST RATE TO STUD  
& 16d @ 24" o/c TOP  
PLATE TO BOTTOM.  
2x4" STUDS 2-16d @ BOTTOM,  
TOE NAIL  
2-2x12" w/ 1/2" PLYWOOD  
BRUN. GLUE & NAIL w/  
3-16d @ 12" o/c EX. SIDE.

PLAN VIEW

1 1/2" = 1'-0"

ASSUMED LOADS: 30#/FT<sup>2</sup> ROOF, LIVE & DEAD

30#/" CEILING, "  
60#/" TOTAL w/ 11'-0"  
TRI BUTARY LOAD

LUMBER DESIGN VALUES:

FIBER STRESS, 1400 PSI, MIN.  
MODULUS "E", 1,400,000 PSI, MIN.

*Richard F. Berte*

RICHARD F. BERTÉ, P.E.

THIS DRAWING IS THE PROPERTY OF  
RICHARD F. BERTÉ & COMPANY, INC. AND SHALL NOT  
BE USED WITHOUT THEIR PERMISSION.

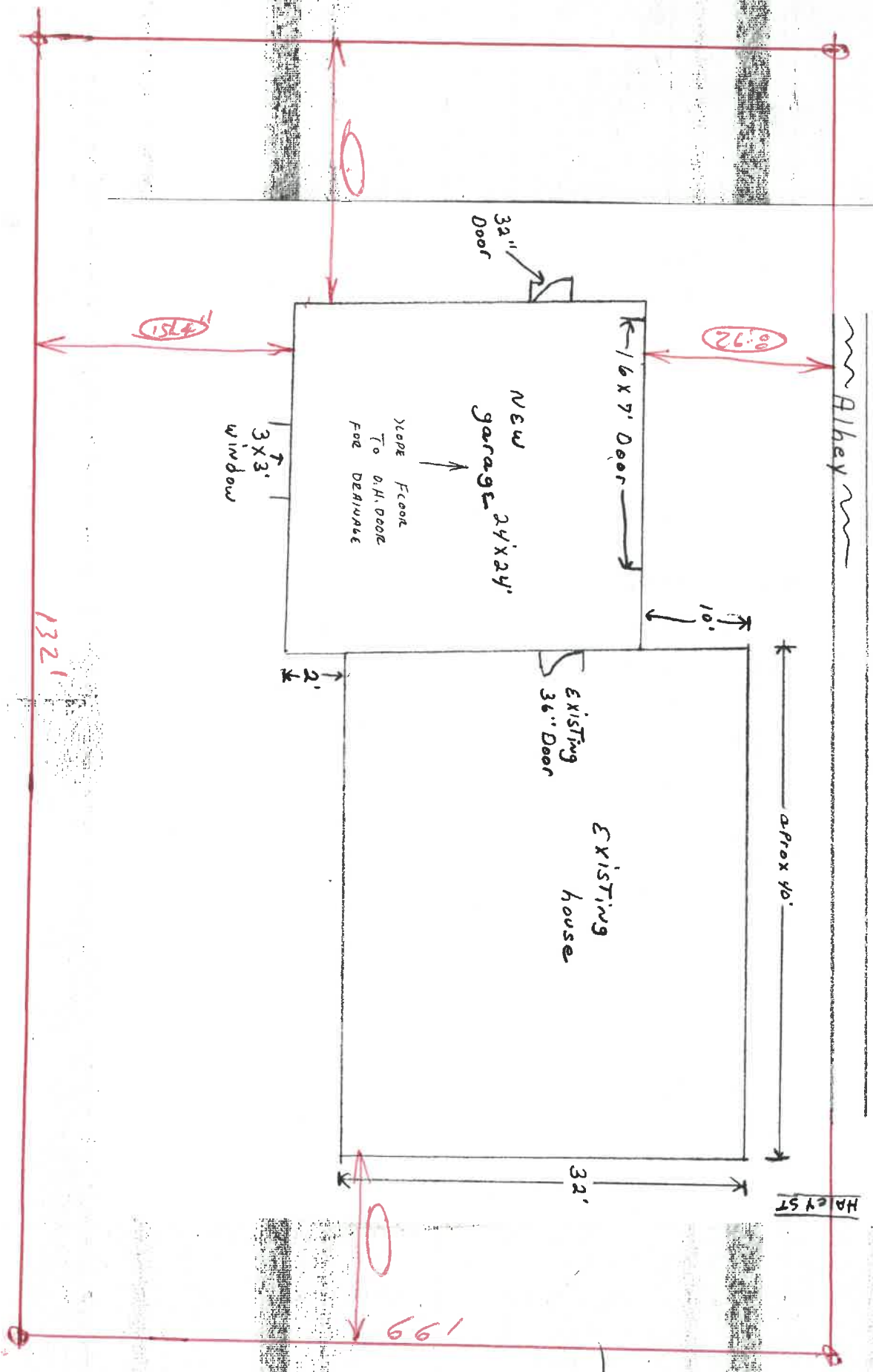
AGE 1986

R.D.S.

DOUBLE 2x4" WALL TOP PLATE  
NO JOINTS IN CENTER 1/3 OF  
HEADER SPAN.

2-2x12" CONTINUED  
w/ 1/2" PLYWOOD  
STUDS. NO PLYWOOD  
JOINTS IN CENTE  
1/2 OF SPAN.



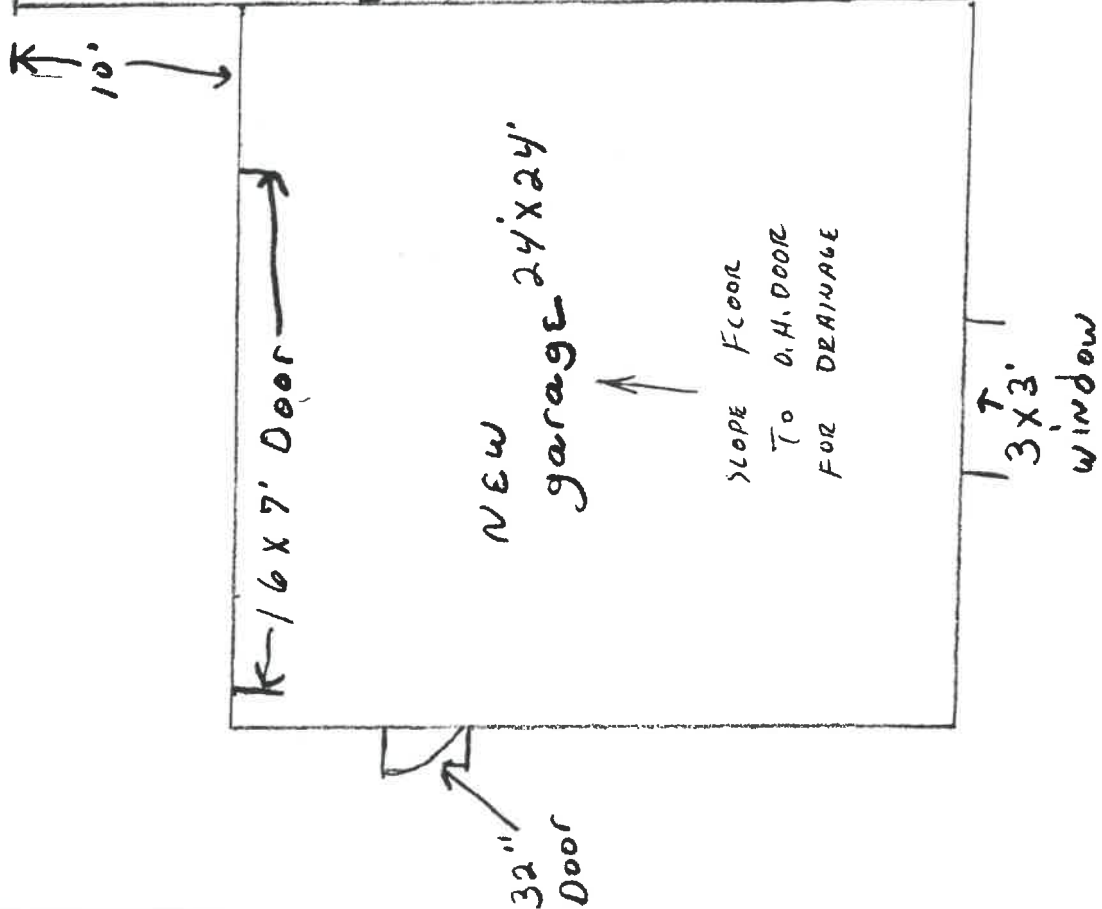
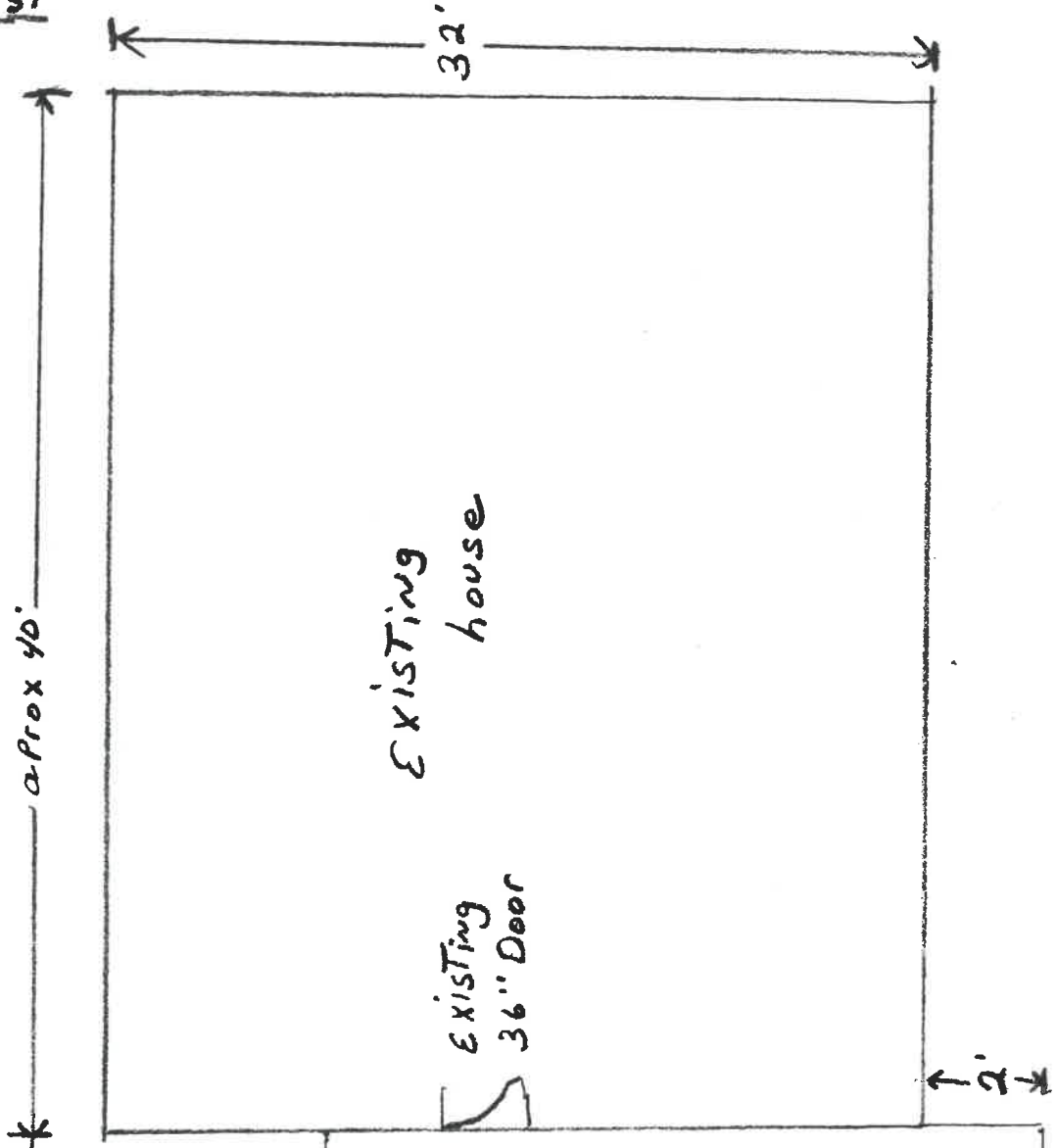






HALEY ST

Albex



←

↑ 10'

← 16x7' Door

NEW garage 24x24'

SLOPE FLOOR  
TO D.H. DOOR  
FOR DRAINAGE

↑ 3x3' window

32" Door

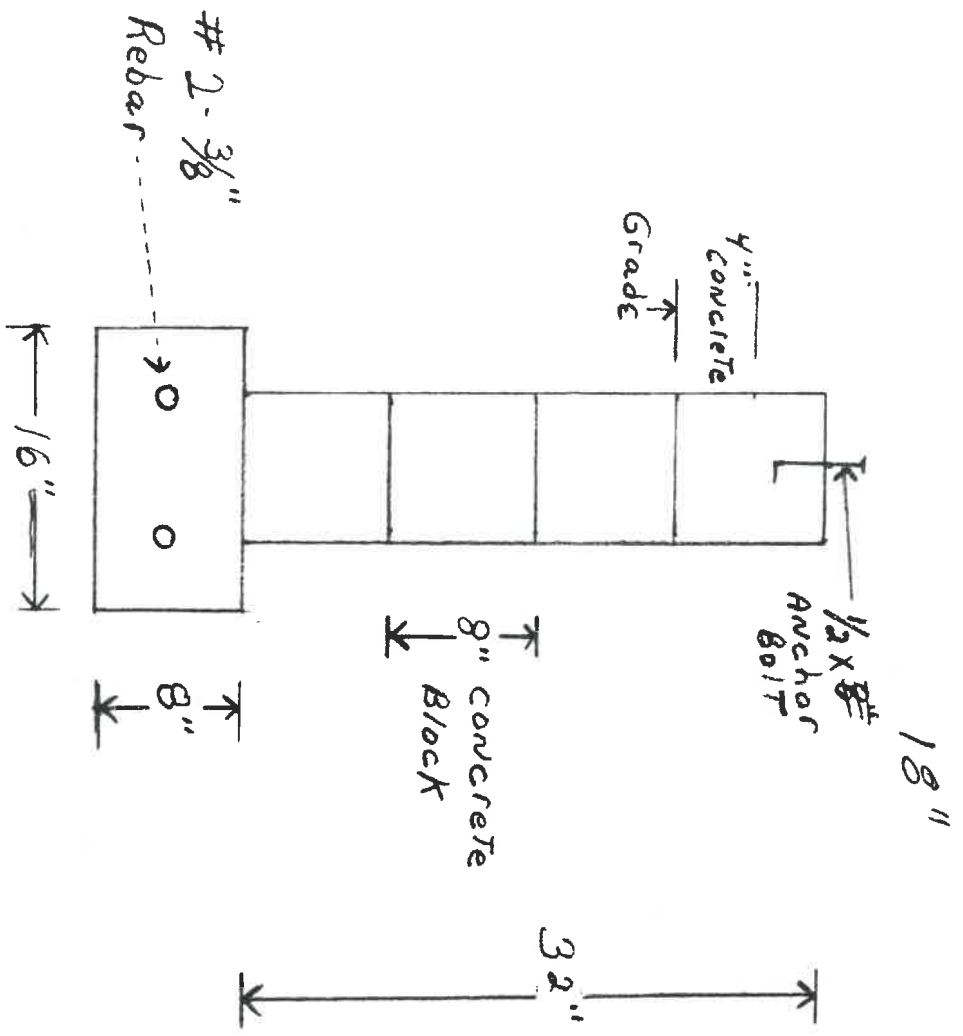
↑ 2'



Jamie Kuser  
511 Haley ST. Napoleon

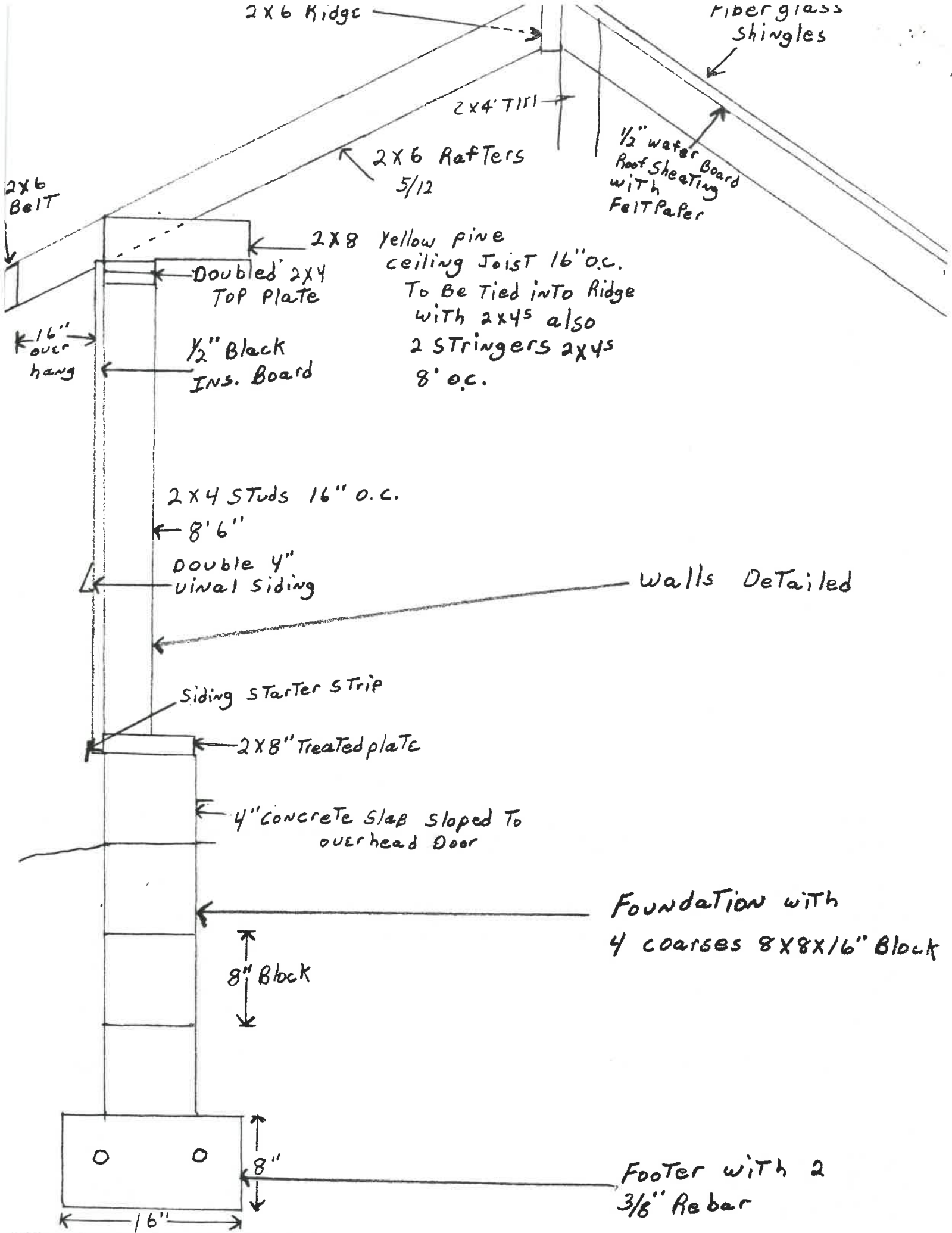
Rohrs Masonry LLC,  
16-353 RT.1 Rd. U  
Napoleon, Ohio 43545

### Footer and Foundation Plan









2x6 Ridge

Fiberglass Shingles

2x4 Truss

2x6 Rafters 5/12

1/2" water Board Roof Sheathing with Felt Paper

2x6 Belt

2x8 yellow pine ceiling Joist 16" o.c. To Be Tied into Ridge with 2x4s also 2 Stringers 2x4s 8' o.c.

Doubled 2x4 Top Plate

16" overhang

1/2" Black Ins. Board

2x4 Studs 16" o.c.

8'6"

Double 4" vinyl Siding

Walls Detailed

Siding Starter Strip

2x8" Treated plate

4" concrete Slab sloped to overhead Door

Foundation with 4 courses 8x8x16" Block

8" Block

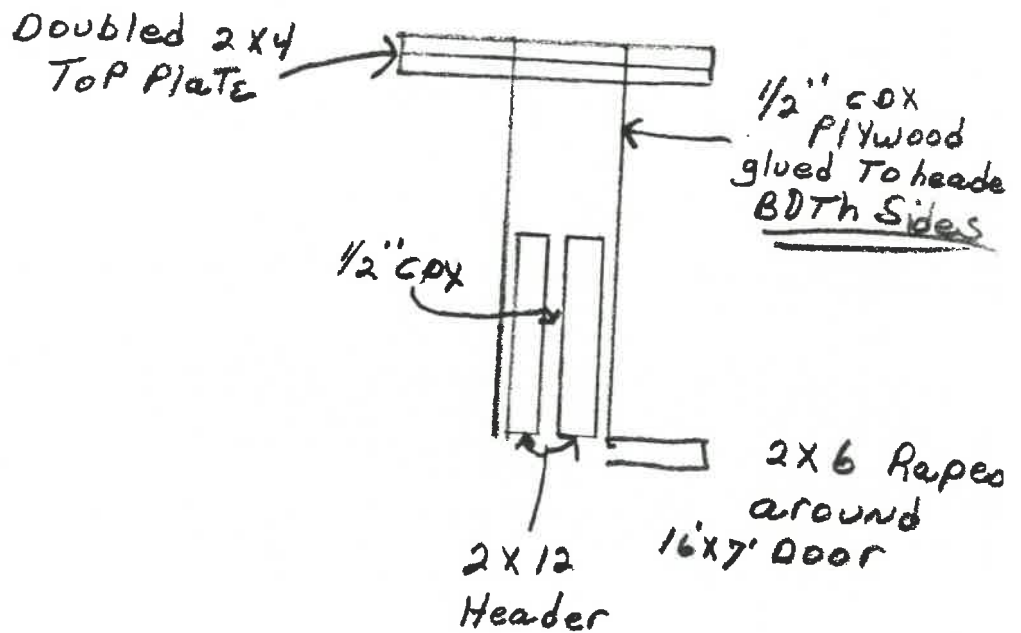
Footer with 2 3/8" Rebar

8"

16"



16' X 7' Door Header To Be #2- 2x12" with 1/2" Plywood in The middle, EveryThing To be glued and Nailed on Both Sides. 1/2" Plywood also on outside and inside To go From Bottom of header To Topplate also glued.





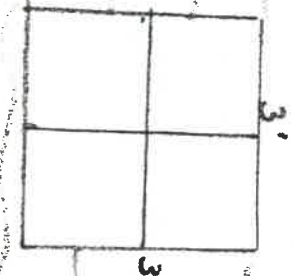


SOUTH ELEVATION

24'

16'1"  
OVERHANG

oval siding



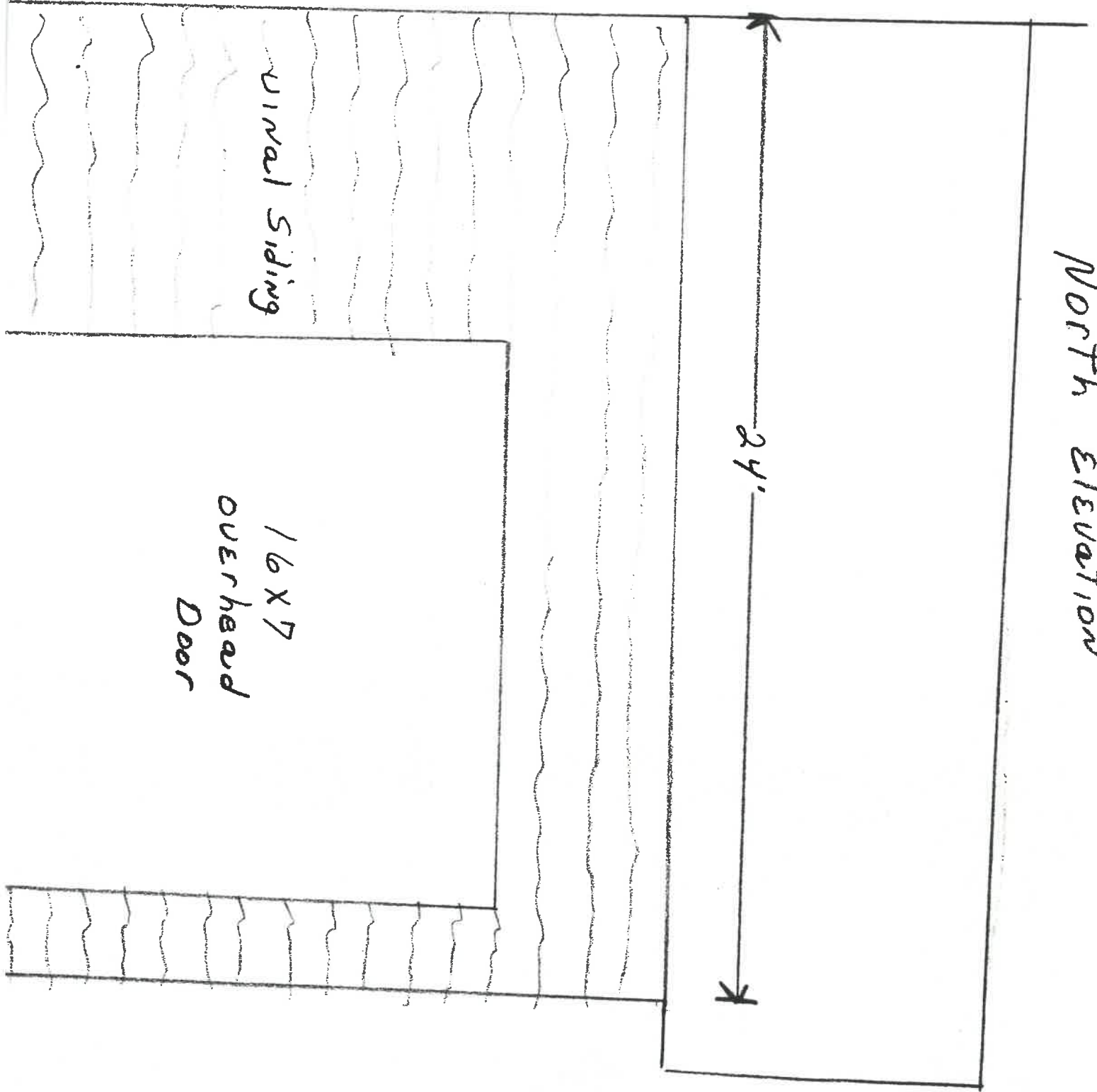


NORTH ELEVATION

24'

vinyl siding

16x7  
overhead  
Door





WEST ELEVATION

24'

5-12  
Pitch

16' 1/2  
Aluminum  
Soffit

Uival Siding

Steel  
Door  
3a'

